

3839348 Pages: 1 of 12
04/17/2012 08:29 AM R Fee:\$121.00
Steve Wernig, Clerk and Recorder, Weld County, CO

MARCH 2012



AGRA HOLDINGS, L.P.
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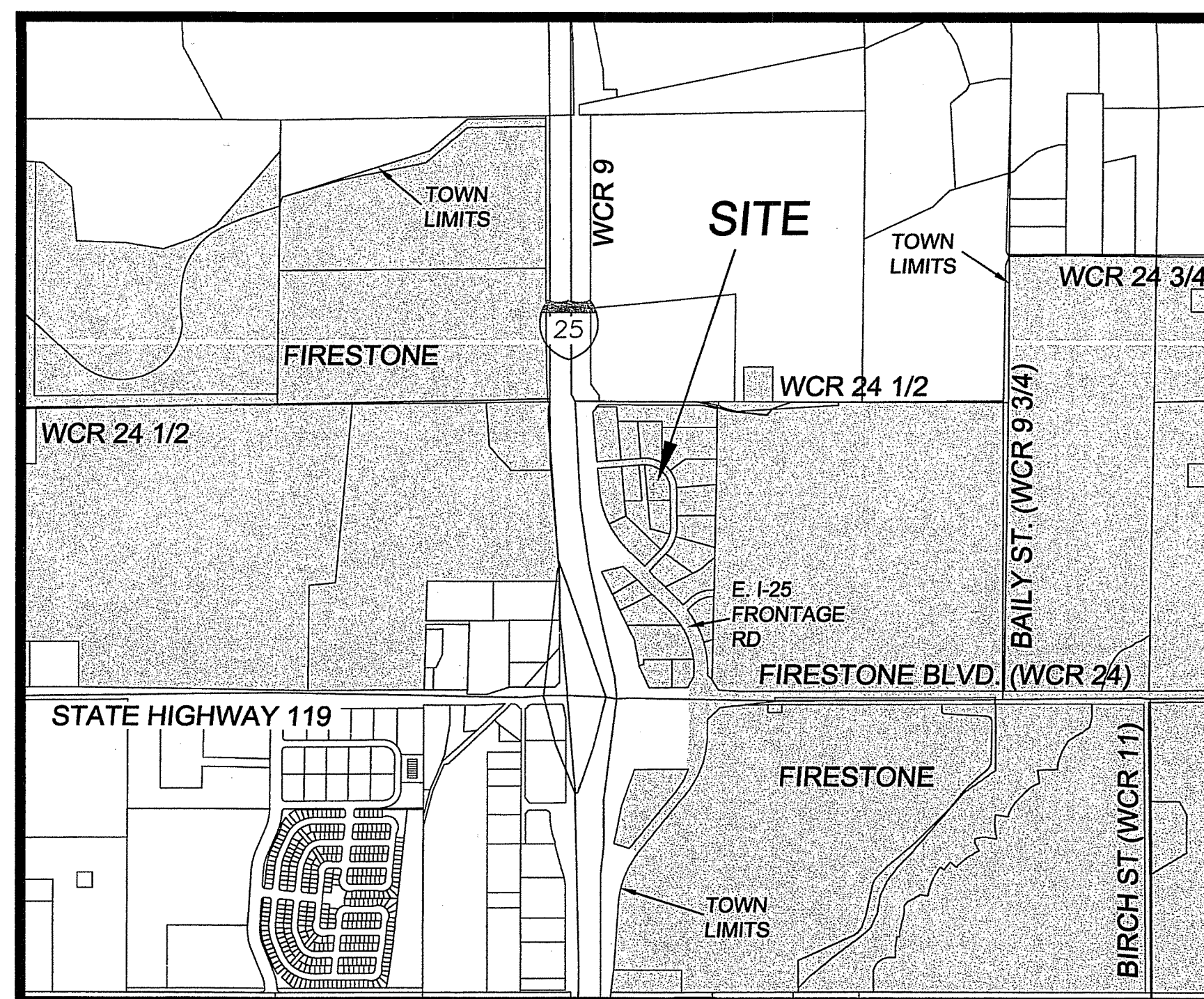
STUDIO DH ARCHITECTURE
JAMES B. DAUER
700 TWELFTH STREET, SUITE 200
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RIDGELINE CONSULTANTS, INC.
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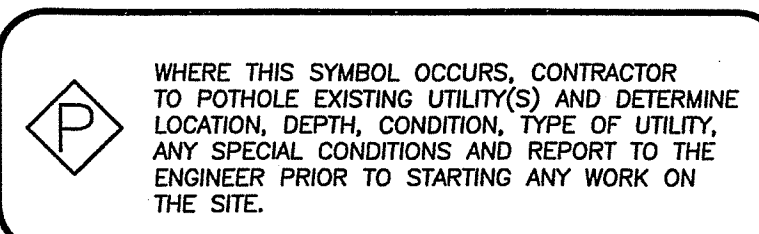
LONGS PEAK LANDSCAPE
CRAIG SMITH
10755 TURNER BLVD.
LONGMONT, COLORADO 80504
PHONE: 303-682-2857
EMAIL: landarch07@gmail.com



SCALE: 1" = 1,200'

PROJECT BENCHMARK: FIRESTONE BENCHMARK BM 25; MARKED "X" ON NORTH
END OF HEADWALL AT NORTHWEST CORNER OF INTERSECTION OF FIRESTONE
BLVD. AND COLORADO BLVD. ELEVATION = 4848.265 (1929 NAVD)

UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS, LATEST EDITION, THE STATE OF COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE SITE GEOTECHNICAL REPORT.



FDP-1	COVER SHEET
FDP-2	NARRATIVE SHEET
FDP-3	NOTES SHEET
FDP-4	SITE PLAN
FDP-5	UTILITY PLAN
FDP-6	GRADING PLAN
FDP-7	SITE AND UTILITY DETAILS
FDP-8	EROSION CONTROL PLAN
FDP-9	EROSION CONTROL DETAILS
FDP-10	LANDSCAPE PLAN
FDP-11	EXTERIOR ELEVATIONS
FDP-12	PHOTOMETRIC PLAN

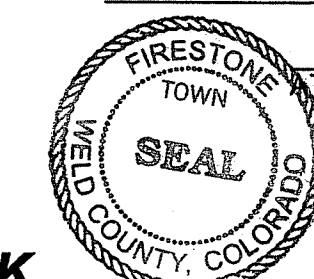
LOT 3, DEL CAMINO JUNCTION BUSINESS PARK 5TH MINOR PLAT, RECORDED ON _____
AT RECEPTION NO. _____ AT THE OFFICE OF THE WELD COUNTY CLERK AND
RECORDER, LOCATED IN THE WEST HALF (W1/2) OF THE SOUTHWEST QUARTER (SW1/4) OF
SECTION TWO (2), TOWNSHIP TWO NORTH (T.2N.), RANGE SIXTY-EIGHT WEST (R.68W.) OF THE
SIXTH PRINCIPAL MERIDIAN (6TH P.M.), TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF
COLORADO.

SAID PARCEL CONTAINS 1.327 ACRES, MORE OR LESS.

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO THIS
22nd DAY OF February, 20 12 : BY

RESOLUTION NO. 12.04

MAYOR



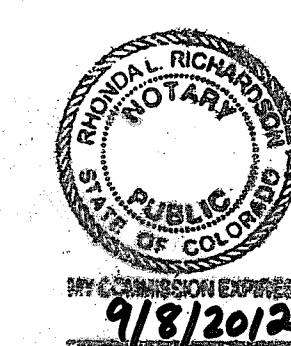
BY SIGNING THE FDP, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL OF THE REQUIREMENTS AND INTENT SET FORTH HEREIN.

Agave Holdings LP by Kenneth M. Green
OWNER Managing General Partner 4-2-12

STATE OF COLORADO)
COUNTY OF WELD) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF April, 2012.
BY Kenneth M. Green.

WITNESS MY HAND AND OFFICIAL SEAL.



9/8/2012
MY COMMISSION EXPIRES

Agra Holdings, L.P. Building Expansion	
COVER SHEET	
Name of Submittal: AGRA HOLDINGS, L.P. BUILDING EXPANSION	
Type of Submittal:	FDP
Filing Number:	-
Phase Number:	-
Preparation Date:	01/11/2012
Revision Date:	02/24/2012
Revision Date:	03/23/2012
Revision Date:	
Revision Date:	
Revision Date:	

Sheet 1 of 12

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AGRA HOLDINGS, L.P. BUILDING EXPANSION
LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT
COVER SHEET
LOCATED IN THE SW 1/4 SECTION 2 TOWNSHIP 2 NORTH, RANGE 68 WEST
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

[illegible]

Design	TWC	Drawn	TWC
Checked	TWC	Checked	TWC
Date	MARCH 23, 2012		
Job No.	0150		
D-	0150.1		

SHEET
FDP-1

THIS FINAL DEVELOPMENT PLAN ESTABLISHES THE PLANNING AND SITE PLAN WITHIN THE DEVELOPMENT OF THE DEL CAMINO JUNCTION BUSINESS PARK. APPROVAL OF THE FINAL DEVELOPMENT PLAN AND THE ASSOCIATED DOCUMENTS WILL PROVIDE SPECIFIC SITE CONFORMANCE TO THE TRAFFIC ACCESS PLAN, LANDSCAPE PLAN, UTILITY PLAN AND DRAINAGE PLANS, AND THE ARCHITECTURAL THEME OF THE OVERALL DEVELOPMENT.

THERE IS NO EVIDENCE OF RECOGNIZED ENVIRONMENTAL CONDITIONS IN THE CONNECTION WITH THIS SITE.

PLEASE REFER TO THE "PHASE I ENVIRONMENTAL SITE ASSESMENT REPORT" PREPARED FOR THE DEL CAMINO BUSINESS PARK ODP/FDF ON 9/20/99 BY ENVIRONMENTAL SCIENCE CORPORATION.

THE DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIONS HAS BEEN PROVIDED, WHICH WILL GOVERN THE DEVELOPMENT AND MAINTENANCE OF ALL THE PROPERTIES WITHIN THE BUSINESS PARK.

AN OVERALL STREET LANDSCAPE PLAN FOR THE DEL CAMINO JUNCTION BUSINESS PARK WAS APPROVED WITH THE OVERALL FINAL DEVELOPMENT PLAN.

ADDITIONALLY, LOT 3, WILL BE LANDSCAPED AS ILLUSTRATED IN THIS FINAL DEVELOPMENT PLAN. LANDSCAPING MATERIALS AND DESIGN WILL CONFORM TO THE THEME ESTABLISHED.

THE ON-SITE LANDSCAPING WILL BE MAINTAINED BY THE OWNER OF LOT 3.

THE FINAL DEVELOPMENT PLAN HAS BEEN DESIGNED, TO THE BEST OF THE DESIGNER'S KNOWLEDGE AND ABILITIES, TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.

REFER TO THE FINAL DRAINAGE REPORT PREPARED BY RIDGELINE CONSULTANTS, INC., DATED FEBRUARY 24, 2012, WHICH IS FILED UNDER THIS FINAL DEVELOPMENT PLAN AND SUPPLEMENTAL DOCUMENTS, FOR A DESCRIPTION OF THE STORM DRAINAGE FOR THIS FINAL DEVELOPMENT PLAN. THE SITE PLAN IS DESIGNED TO CONFORM TO THE APPROVED FINAL DRAINAGE REPORT FOR DEL CAMONI JUNCTION BUSINESS PARK, P.U.D., FIRESTONE, COLORADO PREPARED BY TUTTLE APPELGADE, INC., DATED AUGUST 15, 1999. THE SITE DEVELOPMENT WILL SURFACE DRAIN TO THE EXISTING STORMWATER DETENTION POND #2 THAT WAS DESIGNED AND CONSTRUCTED AS PART OF THE SUBDIVISION DEVELOPMENT.

ALL UTILITIES ARE AVAILABLE TO LOT 3 THROUGH THE EXISTING BUILDING WITH AN ADDITIONAL SANITARY SEWER LINE TO THE NORTH OF THE EXISTING BUILDING.

COLORADO CONSULTING ENGINEERS REVIEWED THE SEWER AND DOMESTIC WATER FIXTURE UNIT REQUIREMENTS FOR THE NOTED PROJECT USING THE 2006 INTERNATIONAL PLUMBING CODE AS A GUIDELINE FOR THE BUILDING.

IT WAS DETERMINED, AS CALCULATED A 3/4" WATER METER WITH A 3/4" WATER LINE TO THE BUILDING WILL ADEQUATELY SERVE THE EXISTING BUILDING'S, BUILDING ADDITION & IRRIGATION WATER REQUIREMENTS. A 4" SANITARY SEWER WILL ADEQUATELY SERVE THE EXISTING BUILDING'S WASTE REQUIREMENTS.

ABOVE GROUND DRY UTILITY FACILITIES WILL BE SCREENED WITH LANDSCAPING IN COORDINATION WITH THE UTILITY PROVIDERS REQUIREMENTS FOR SETBACKS OF PLANTING MATERIALS.

PROVIDED USE: OFFICE

1 SPACE/350 S.F. = 31 SPACES REQUIRED, INCLUDING 1 HANDICAP-ACCESSIBLE
19 SPACES PROVIDED, INCLUDING 2 HANDICAP-ACCESSIBLE WITH THE EXISTING BUILDING
16 SPACES PROVIDED WITH THE BUILDING EXPANSION
35 TOTAL SPACES PROVIDED, INCLUDING 2 HANDICAP-ACCESSIBLE

BICYCLE PARKING = 2 SPACES PROVIDED

TOTAL INTERNAL LANDSCAPING WITHIN PARKING AREA: 25,451 S.F.

INTERNAL LANDSCAPING INCLUDES ALL LANDSCAPING WITHIN AND INCLUDING ADJACENT BUFFER AND SETBACK AREAS.

THE EXISTING BUILDING'S ARCHITECTURE PROVIDES VISUAL INTEREST CONSISTENT WITH THE CHARACTER OF THE DEVELOPMENT AND THE BUILDING EXPANSION IS TO MATCH THE EXISTING. THE BUILDING EXPANSION IS A ONE-STORY BUILDING OF APPROXIMATELY 1656 S.F. USING BUILDING MATERIALS THAT CONFORM TO THE DESIGN STANDARDS OF THE OVERALL DEVELOPMENT. THE EXTERIOR BUILDING MATERIALS INCLUDE A TAN/BUFF - COLORED STONE BASE, THE REST OF THE EXTERIOR WALL IS BEIGE - COLORED STUCCO WITH POP-OUT BANDS, THE ROOF WILL BE COPPERTONE - COLORED METAL ROOF. DARK BRONZE/BROWN COLORS WILL BE USED TO ADJACENT TRIM, BEAMS AND WOOD COLUMNING. THE PARAPET ON THE BUILDING HAS BEEN DESIGNED TO SCREEN ALL ROOF-TOP MECHANICAL EQUIPMENT. THE BUILDING IS DESIGNED TO PROVIDE ITS OWN IDENTITY, WHILE STILL BLENDING WITH THE SURROUNDING ARCHITECTURE. THE LANDSCAPE DESIGN AND PLANT MATERIALS HAVE BEEN CAREFULLY SELECTED TO CONTINUE THE PLANTING THEME OF THE OVERALL DEVELOPMENT AND ENHANCE THE EXISTING SITE IMPROVEMENTS. WALL MOUNTED UTILITIES WILL BE GREENED OR CAMOUFLAGED WITH PLANT MATERIAL.

NO NEW OR ADDITIONAL SIGNAGE WILL BE INCLUDED IN THE CONSTRUCTION OF THE BUILDING EXPANSION. ALL EXISTING SIGNAGE, INCLUDING THE MONUMENT SIGN IS TO REMAIN.

THE MAXIMUM BUILDING HEIGHT FOR THIS FINAL DEVELOPMENT PLAN IS AS SHOWN ON THE EXTERIOR BUILDING ELEVATION SHEET

PRINCIPAL BUILDING SETBACKS ARE AS DIMENSIONED ON THIS FINAL DEVELOPMENT PLAN. SEE SITE PLAN SHEET FDP-5.

APPROXIMATE CONSTRUCTION START DATE: MARCH 2012
APPROXIMATE COMPLETION DATE: JULY 2012

THERE IS CURRENTLY EXISTING ACCESS OFF OF BUSINESS PARK CIRCLE. ADDITIONALLY, A NEW ACCESS IS TO BE PROVIDED DIRECTLY TO THE NORTH OF THE NEW BUILDING EXPANSION.

WATER DEDICATION WAS DETERMINED BASED ON INFORMATION PROVIDED BY THE APPLICANT. THE TOTAL AMOUNT OF CBT WATER TO BE DEDICATED TO THE TOWN WAS CALCULATED BASED ON ACRES OF IRRIGATED LANDSCAPING ON THE SITE AND TOTAL ESTIMATED DOMESTIC (IN-BUILDING) DEMAND. THE TOWN SHALL AT ALL TIMES HAVE THE RIGHT TO REQUIRE ADDITIONAL WATER DEDICATION IF ACTUAL CONSUMPTION EXCEEDS THIS CALCULATED ESTIMATE. IF THE TOWN DETERMINES THAT ADDITIONAL CBT WATER IS TO BE DEDICATED THE LOT OWNER SHALL PROVIDE THE WATER WITHIN 30 DAYS OF WRITTEN NOTICE BY THE TOWN. THE ADDITIONAL DEDICATION SHALL BE BASED ON THE TOWNS THEN CURRENT WATER DEDICATION POLICIES.

THE TOWN OF FIRESTONE HAS DETERMINED THAT THE REQUIRED CBT DEDICATION TO BE:

IRRIGATION DEMAND:	1.46	SHARES
DOMESTIC DEMAND:	0.27	SHARES

EXISTING CBT SHARES PREVIOUSLY DEDICATED = 1 SHARE

A TOTAL OF (1) ONE SHARE SHALL BE TRANSFERRED TO THE TOWN OR CASH IN-LIEU PAYMENT MADE PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY

LOT 3 IS ZONED PUD RC/EC WHICH ALLOWS FOR OFFICE USE.

THIS DEVELOPMENT SHALL BE SERVICED BY THE FOLLOWING UTILITY COMPANIES:

GAS:	SOURCE GAS
POWER:	UNITED POWER
TELEPHONE:	CENTURY LINK
WATER:	TOWN OF FIRESTONE
SANITARY SEWER:	ST. VRAIN SANITATION DISTRICT
POLICE:	TOWN OF FIRESTONE
FIRE:	FREDERICK/FIRESTONE FIRE PROTECTION DISTRICT

ALL UTILITIES EXIST IN THE SITE.
ABOVE GROUND DRY UTILITY FACILITIES WILL BE SCREENED WITH LANDSCAPING IN COORDINATION WITH THE UTILITY PROVIDERS
'UTILITIES' SECTION OF THIS SHEET.

11347 BUSINESS PARK CIRCLE, FIRESTONE, CO 80504

LAND USE TABLE

ADDRESS:	11313 BUSINESS PARK CIRCLE		
ZONE DISTRICT:	PUD R2/EC		
PROPOSED USE:	OFFICE		
	SQUARE FEET	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	51,800	1.326±	100%
TOTAL BUILDING SPACE:	10,312	0.238±	18%
TOTAL PAVED SURFACE:	21,911	0.504±	38%
TOTAL LANDSCAPING:	25,451	0.584±	44%
EXISTING GROSS FLOOR AREA:	5,862		
PROPOSED GROSS FLOOR AREA:	4,122		
TOTAL GROSS FLOOR AREA:	10,584		
NUMBER OF RESIDENTIAL UNITS:	0		
NUMBER OF PARKING SPACES:	30		
NUMBER OF HANDICAP SPACES:	2		

Agra Holdings, L.P. Building Expansion	
NARRATIVE SHEET	
Name of Submittal:	AGRA HOLDINGS, L.P. BUILDING EXPANSION
Type of Submittal:	FDP
Filing Number:	-
Phase Number:	-
Preparation Date:	01/11/2012
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Revision Date:	
Revision Date:	
Revision Date:	

SHEET 3 OF 12

17. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CONFLICTS WITH PROPOSED UTILITIES AND IMPROVEMENTS⁵ WITHIN THE FIRST TWO WEEKS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL EXISTING UTILITY INFORMATION.

4. ALL RECOMMENDATIONS OF THE STORM WATER MANAGEMENT PLAN SHALL BE FOLLOWED AND IMPLEMENTED.

7. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER FROM FINISHED GRADE TO THE TOP OF PIPE OF 5 FEET. MAXIMUM COVER SHALL BE 6 FEET UNLESS APPROVED BY THE TOWN ENGINEER.

6. PRIOR TO PLACEMENT OF H.B.P. OR CONCRETE WITHIN THE STREET AND AFTER MOISTURE TESTS HAVE BEEN TAKEN ON THE SUBGRADE MATERIAL (WHEN A FULL DEPTH SECTION IS PROPOSED) OR ON THE SUBGRADE AND BASE MATERIAL (WHEN A COMPOSITE SECTION IS PROPOSED), A MECHANICAL "PROOF ROLL" WILL BE REQUIRED. THE ENTIRE SUBGRADE AND/OR BASE MATERIAL SHALL BE ROLLED WITH A HEAVILY LOADED VEHICLE HAVING A TOTAL GVW OF NOT LESS THAN 50,000 LBS. AND A SINGLE AXLE WEIGHT OF AT LEAST 18,000 LBS. WITH PNEUMATIC TIRES INFLATED TO NOT LESS THAN 90 P.S.I.G. "PROOF ROLL" VEHICLES SHALL NOT TRAVEL AT SPEEDS GREATER THAN 3 M.P.H. ANY PORTION OF THE SUBGRADE OR BASE MATERIAL WHICH EXHIBITS ANY PUMPING OR DEFORMATION, AS DETERMINED BY THE TOWN, SHALL BE REWORKED, REPLACED OR OTHERWISE MODIFIED TO FORM A SMOOTH, NON-YIELDING SURFACE. THE TOWN SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE "PROOF ROLL". ALL "PROOF ROLL" SHALL BE PERFORMED IN THE PRESENCE OF AN INSPECTOR. ALL DECISIONS MADE BY THE INSPECTOR SHALL BE FINAL WITH REGARDS TO MITIGATION OF DEFICIENT SUBGRADE OF BASE MATERIAL(S). PROOF ROLLS ACCEPTABLE FOR 24 HRS UNLESS HINDERED BY MOISTURE AT THE INSPECTOR'S DISCRETION.

4. AFTER EACH STORM, THE CONTRACTOR SHALL INSPECT AND REPAIR AS MAY BE REQUIRED, ALL EROSION CONTROL FACILITIES.

23. TWENTY (20) MONTHS AFTER CONSTRUCTION AND PRIOR TO THE EXPIRATION OF WARRANTY, THE DEVELOPER SHALL CAMERA/VIDEO THE SANITARY SEWER LINES AND PROVIDE A DVD TO THE DISTRICT FOR REVIEW.

Sheet 3 of 12

SHEET
FDP-3

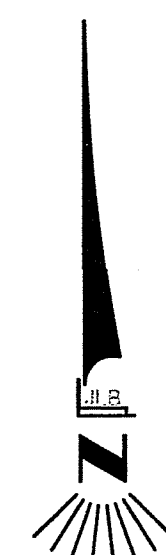
PROJECT BENCHMARK: FIRESTONE BENCHMARK BM 25; MARKED "X" ON NORTH
END OF HEADWALL AT NORTHWEST CORNER OF INTERSECTION OF FIRESTONE
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UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS. THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS, LATEST EDITION, THE STATE OF COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE SITE GEOTECHNICAL REPORT.

**SITE PLAN
TOWN OF FIRESTONE
COUNTY OF WELD
STATE OF COLORADO
SHEET 4 OF 12**



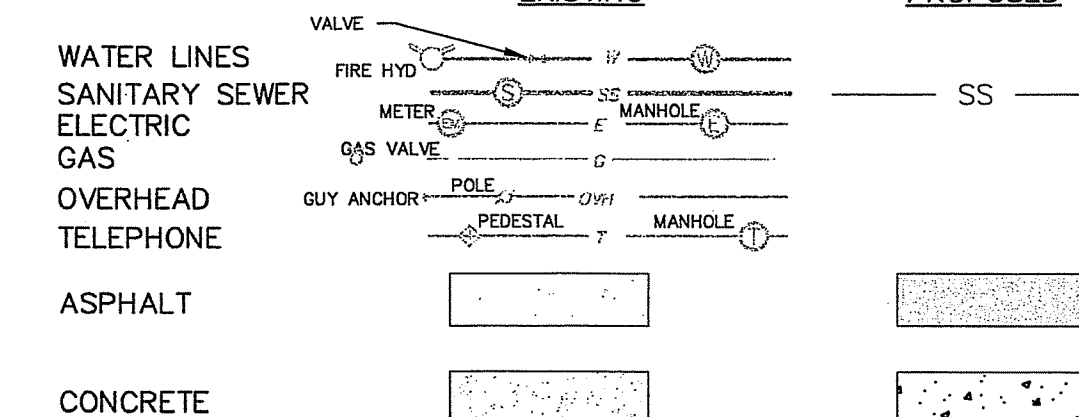
Know what's below.
Call before you dig.



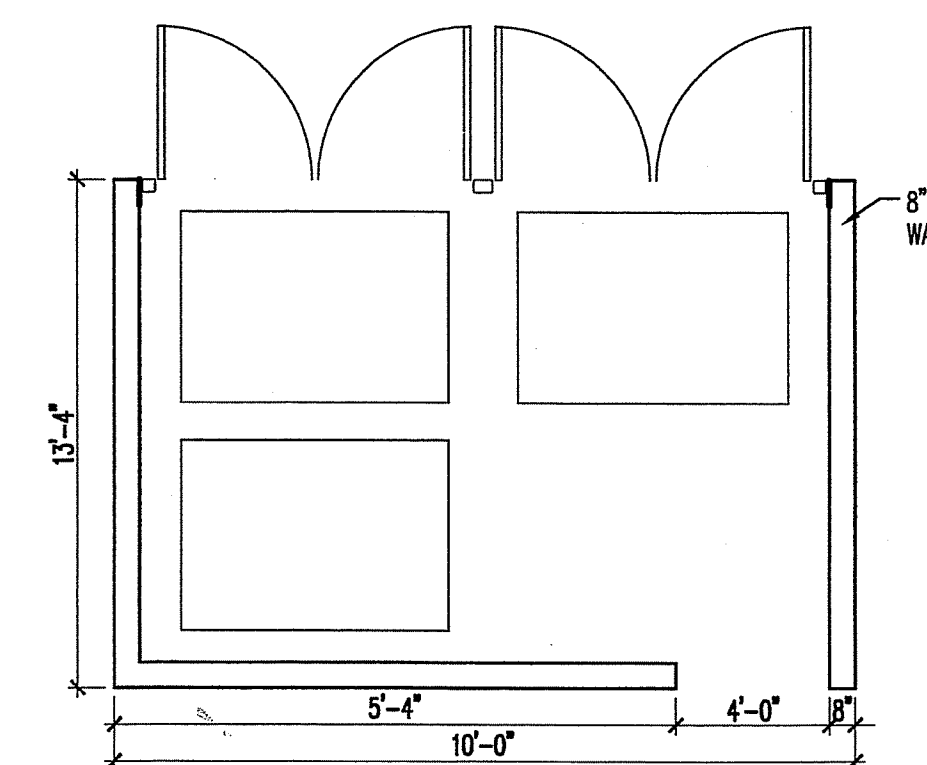
FLOWLINE LINE TABLE		
LINE	LENGTH	BEARING
FL1	57.41	S85°17'32"
FL2	79.94	N00°00'00"
FL3	18.72	N15°13'11"
FL4	16.73	N00°00'00"
FL5	17.00	N20°30'23"
FL6	17.00	S44°42'21"
FL7	17.00	N47°43'44"
FL8	17.00	N71°55'45"
FL9	14.59	N85°15'29"
FL10	8.61	N00°50'21"
FL11	14.00	N00°00'00"
FL12	25.70	N00°00'00"

FLOWLINE CURVE TABLE					
CURVE	RADIUS	LENGTH	BEARING	CHORD	DELTA
C1	20.00	30.48	S43°39'44"W	27.62	87°19'
C2	238.73	32.27	S78°42'04"E	32.24	07°50'
C3	120.00	36.57	S55°14°34"W	32.66	110°29'
C4	12.00	13.33	S13°48'50"E	11.95	63°37'
C5	3.00	5.02	S68°26'22"W	4.45	95°51'
C6	209.50	88.52	S57°17'12"E	87.86	241°59'
C7	3.00	4.66	N00°12'47"E	4.20	88°28'
C8	3.00	4.66	N87°41°54"W	4.21	89°08'
C9	209.50	88.44	S20°08'34"E	87.85	241°11'
C10	3.00	4.66	S27°23'14"W	4.21	89°08'
C11	3.00	4.07	N55°05°06"W	3.77	77°48'
C12	20.00	2.31	N07°25'21"W	4.59	13°10'
C13	163.50	134.74	S13°36'51"W	130.96	47°12'
C14	6.00	12.44	S59°23'20"E	10.35	118°46'
C15	6.00	2.54	N54°23'20"E	10.35	78°58'

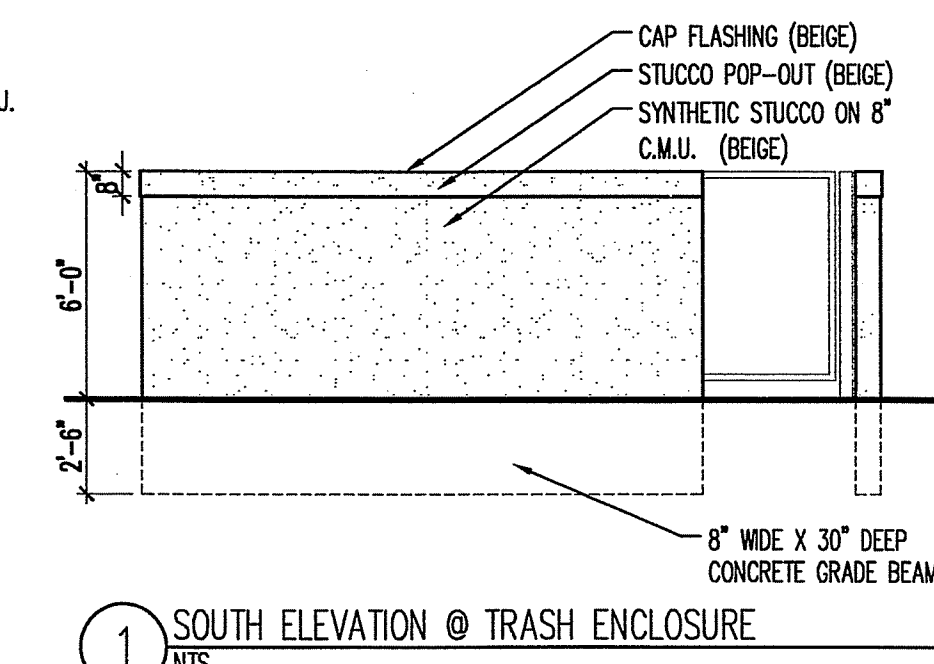
<u>EXISTING</u>	<u>PROPOSED</u>
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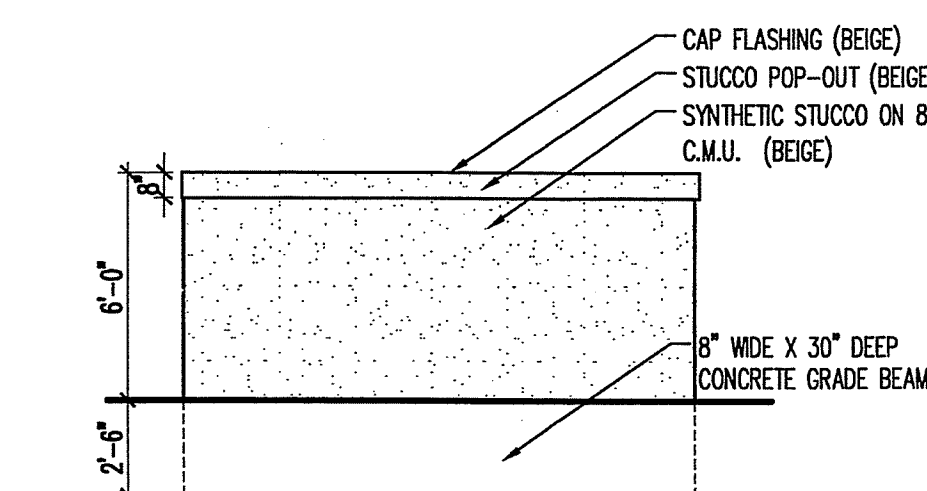
PROPOSED SPILL CURB
& GUTTER
(ALL OTHER SHALL BE CATCH)



2 EAST/WEST ELEVATION @ TRASH ENCLOSURE
NTS



1 SOUTH ELEVATION @ TRASH ENCLOSURE
NTS



6'-0"

2'-5"

8" WIDE X 30" DEEP CONCRETE GRADE RFAM

CAP FLASHING (BEIGE)

STUCCO POP-OUT (BEIGE)

SYNTHETIC STUCCO ON 8" C.M.U. (BEIGE)

REUSE EXISTING TRASH ENCLOSURE DOORS

3 NORTH ELEVATION @ TRASH ENCLOSURE
NTS

TRASH ENCLOSURE

Agra Holdings, L.P. Building Expansion	
SITE PLAN	
Name of Submittal:	AGRA HOLDINGS, L.P. BUILDING EXPANSION
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Sheet 4 of 12

RIDGELINE
—Consultants, Inc.

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AGRA HOLDINGS, L.P. BUILDING EXPANSION
LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT

SITE PLAN

LOCATED IN THE SW 1/4 SECTION 2 TOWNSHIP 2 NORTH, RANGE 68 WEST
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

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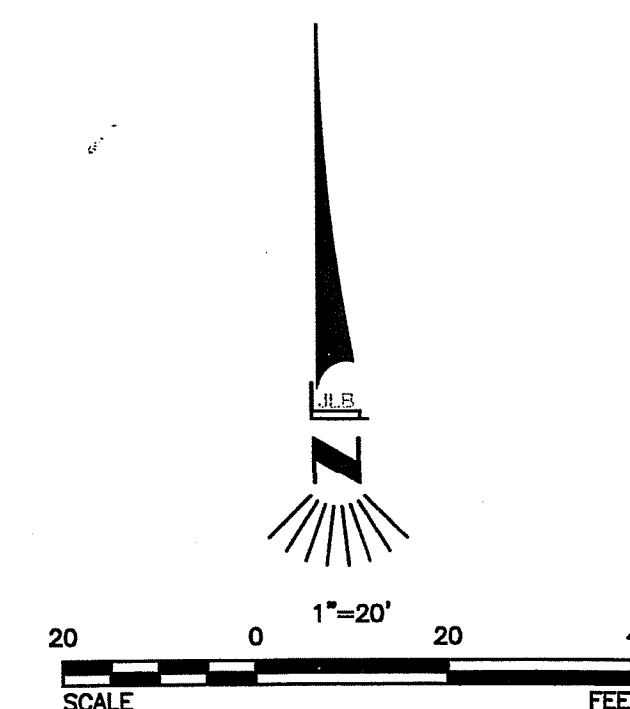
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	Design	TWC	Drawn	TWC
	Checked	TWC	Checked	TWC
SIGN	Date	MARCH 23, 2012		
	Job No.	0150		
	D-	0150.1		

SHEET
FDP-4

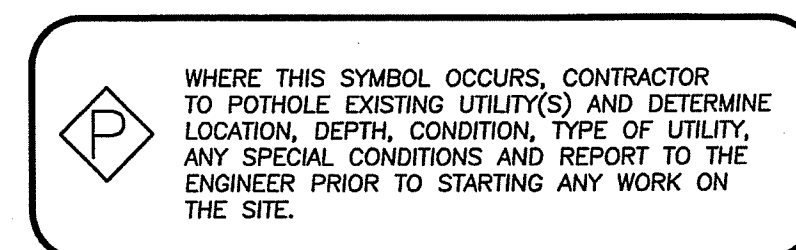


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NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWNSHIP, FIRESTONE, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY CURB, GUTTER OR WALK, WITHIN THE PROJECT LIMITS, THE TOWN OF FIRESTONE RIGHT-OF-WAY OR ADJACENT PROPERTIES, WHICH IS DAMAGED DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. EXISTING CONDUIT SHALL BE RELOCATED, IF NECESSARY, TO LANDSCAPE AREA.
5. SANITARY SEWER CLEANOUT IN PARKING AREA SHALL HAVE TRAFFIC-RATED LID.



LEGEND OF SYMBOLS

EXISTING

PROPOSED

WATER LINES

SANITARY SEWER

ELECTRIC

GAS OVERHEAD

TELEPHONE

STORM DRAIN

ASPHALT

CONCRETE

BENCHMARK

PROJECT BENCHMARK: FIRESTONE BENCHMARK BM 25; MARKED "X" ON NORTH
END OF HEADWALL AT NORTHWEST CORNER OF INTERSECTION OF FIRESTONE
BLVD. AND COLORADO BLVD. ELEVATION = 4848.265 (1929 NAVD)

CONSTRUCTION REFERENCE

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Agra Holdings, L.P. Building Expansion	
UTILITY PLAN	
Name of Submittal:	AGRA HOLDINGS, L.P. BUILDING EXPANSION
Type of Submittal:	FDP
Filing Number:	—
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Sheet 5 of 12

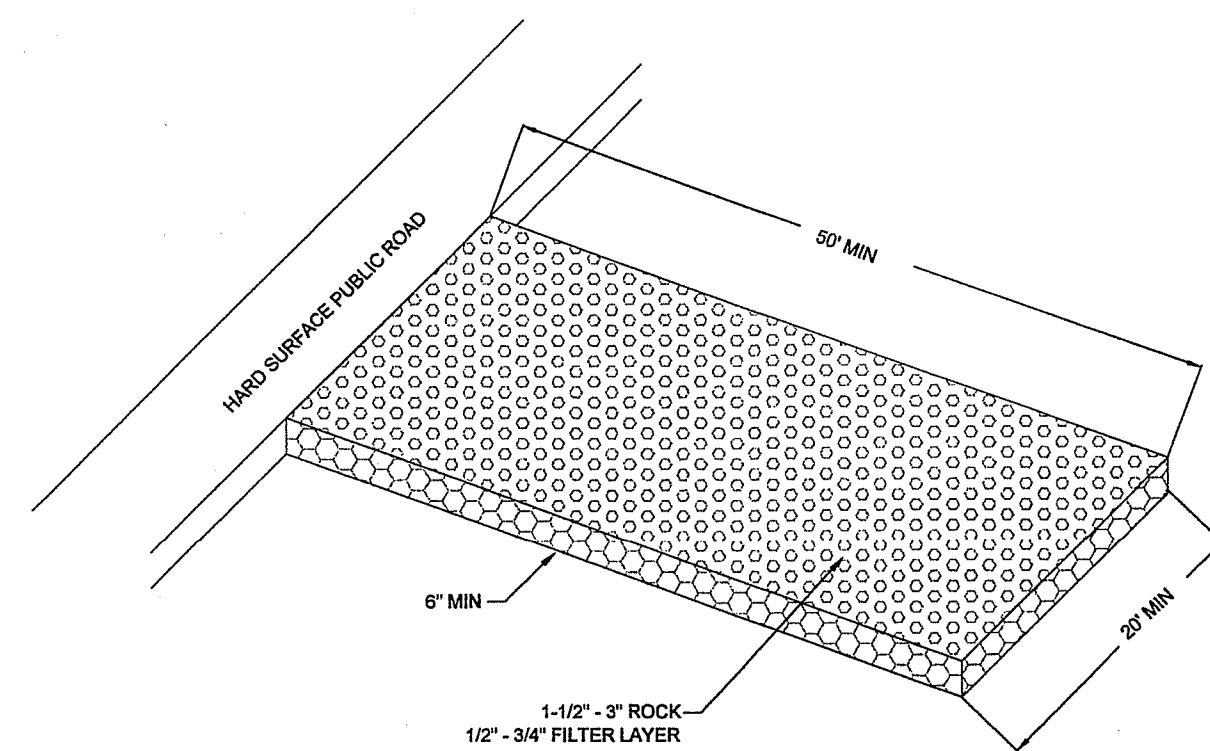
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TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

[illegible]

Design	TWC	Drawn	TWC
Checked	TWC	Checked	TWC
Date	MARCH 23, 2012		
Job No.	0150		
D-	0150.1		

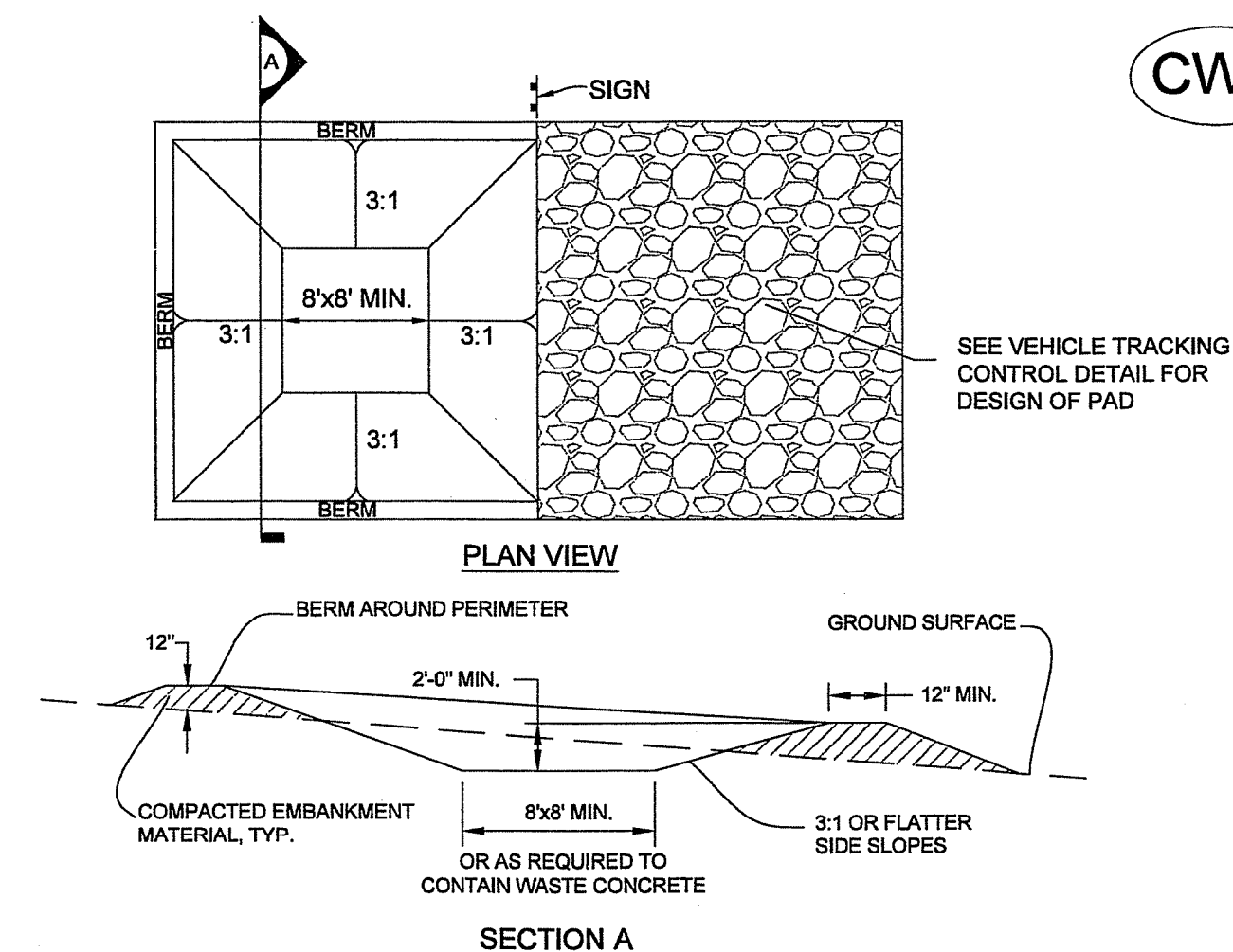
SHEET
FDP-5

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FDP-6



TEMPORARY VEHICLE TRACKING CONTROL PAD DETAIL

 <p>FIRESTONE A COMMITMENT TO EXCELLENCE</p>	<p>EROSION CONTROL CONSTRUCTION DRAWINGS</p>	<p>SCALE: N.T.S.</p>
		<p>DATE: JULY 2008</p>



SECTION A


CONCRETE WASHOUT AREA INSTALLATION NOTES

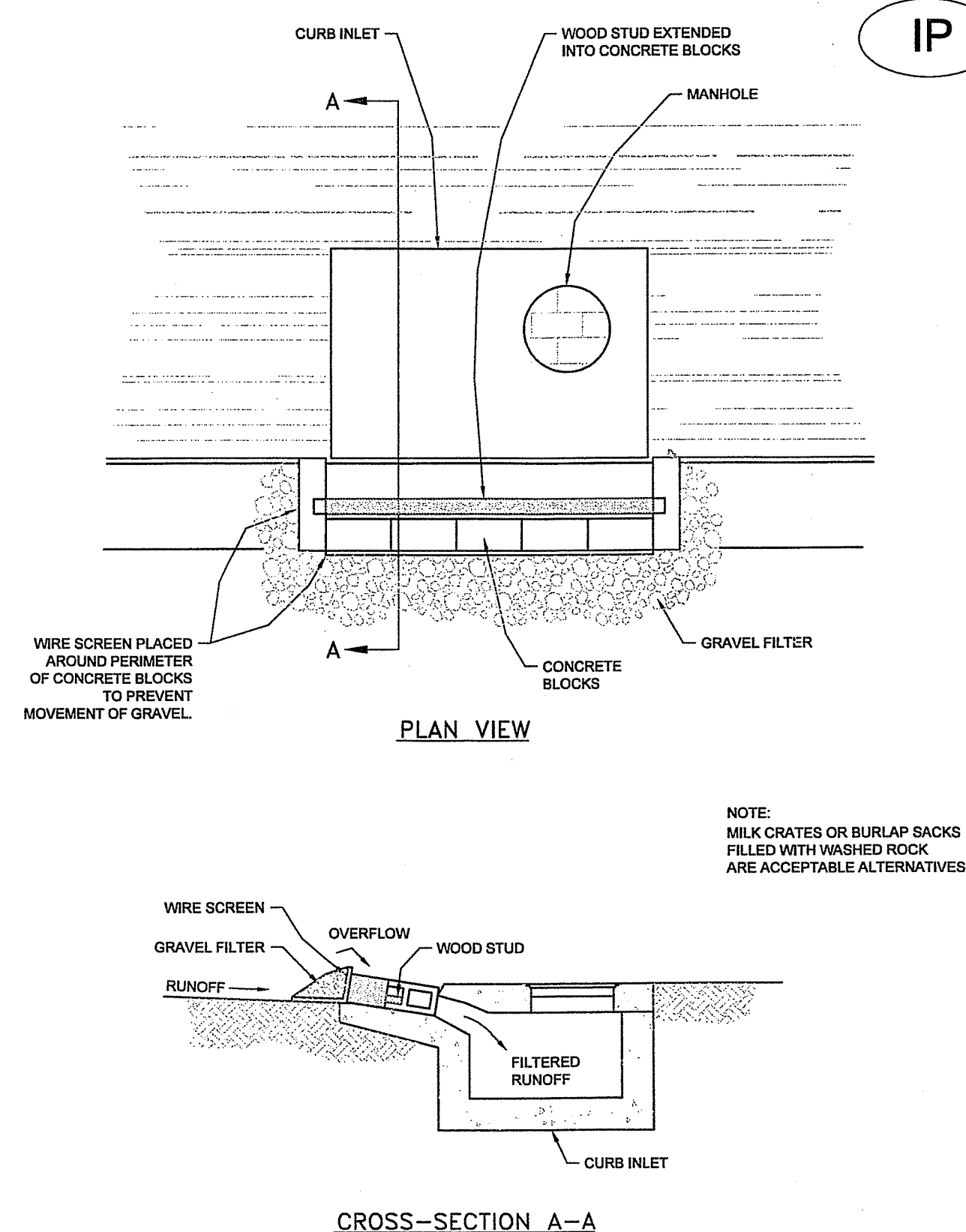
1. SEE PLAN VIEW FOR LOCATIONS OF CONCRETE WASHOUT AREA.
2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
3. VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE AT THE WASHOUT AREA, AND NEARBY AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
5. EXCAVATED MATERIALS SHALL BE UTILIZED FOR PERIMETER BERM CONSTRUCTION.

CONCRETE WASHOUT AREA MAINTENANCE NOTES

1. THE CONCRETE WASHOUT AREA SHALL BE MAINTAINED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR ALL CONCRETE.
2. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
3. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, DRILL SEED AND CRIMP MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE TOWN.
4. INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT.

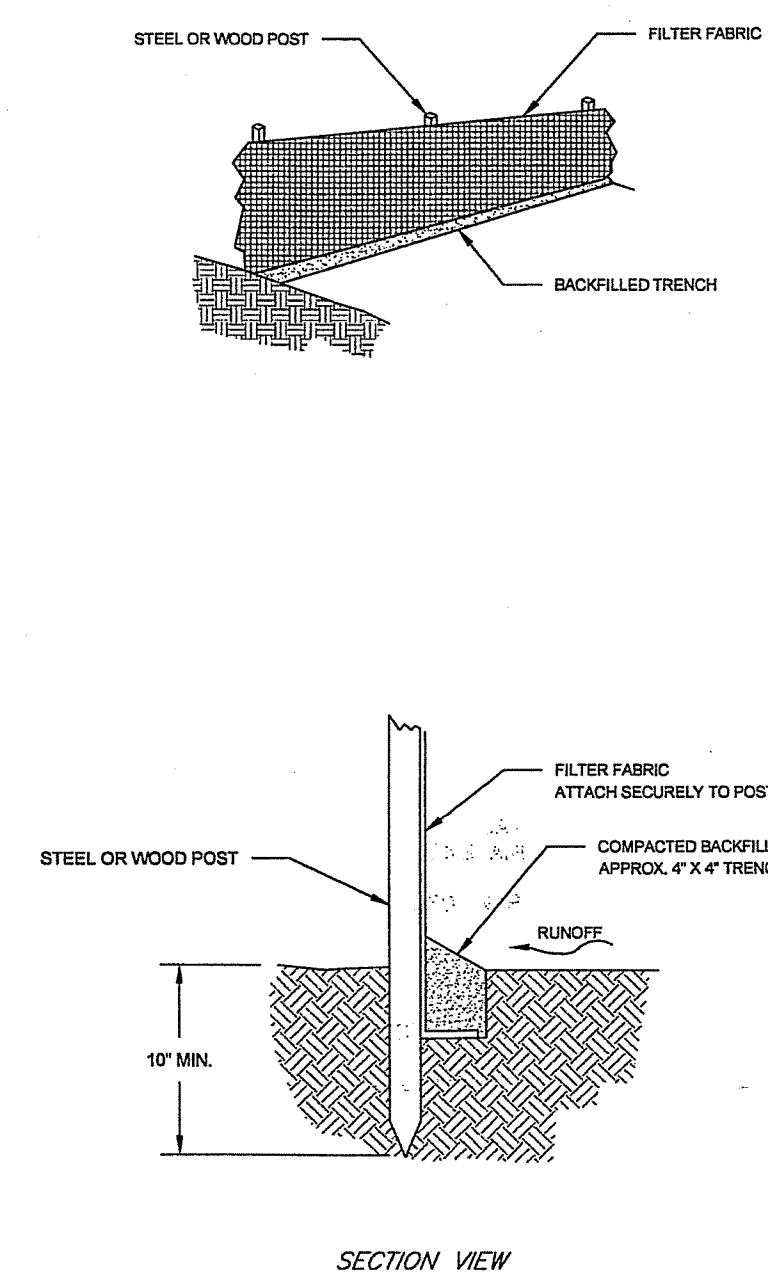
CONCRETE WASHOUT AREA

 FIRESTONE <small>A WOODWARD-CLARK COMPANY</small>	EROSION CONTROL CONSTRUCTION DRAWINGS		
		SCALE: N.T.S.	
		DATE: MAY 2009	




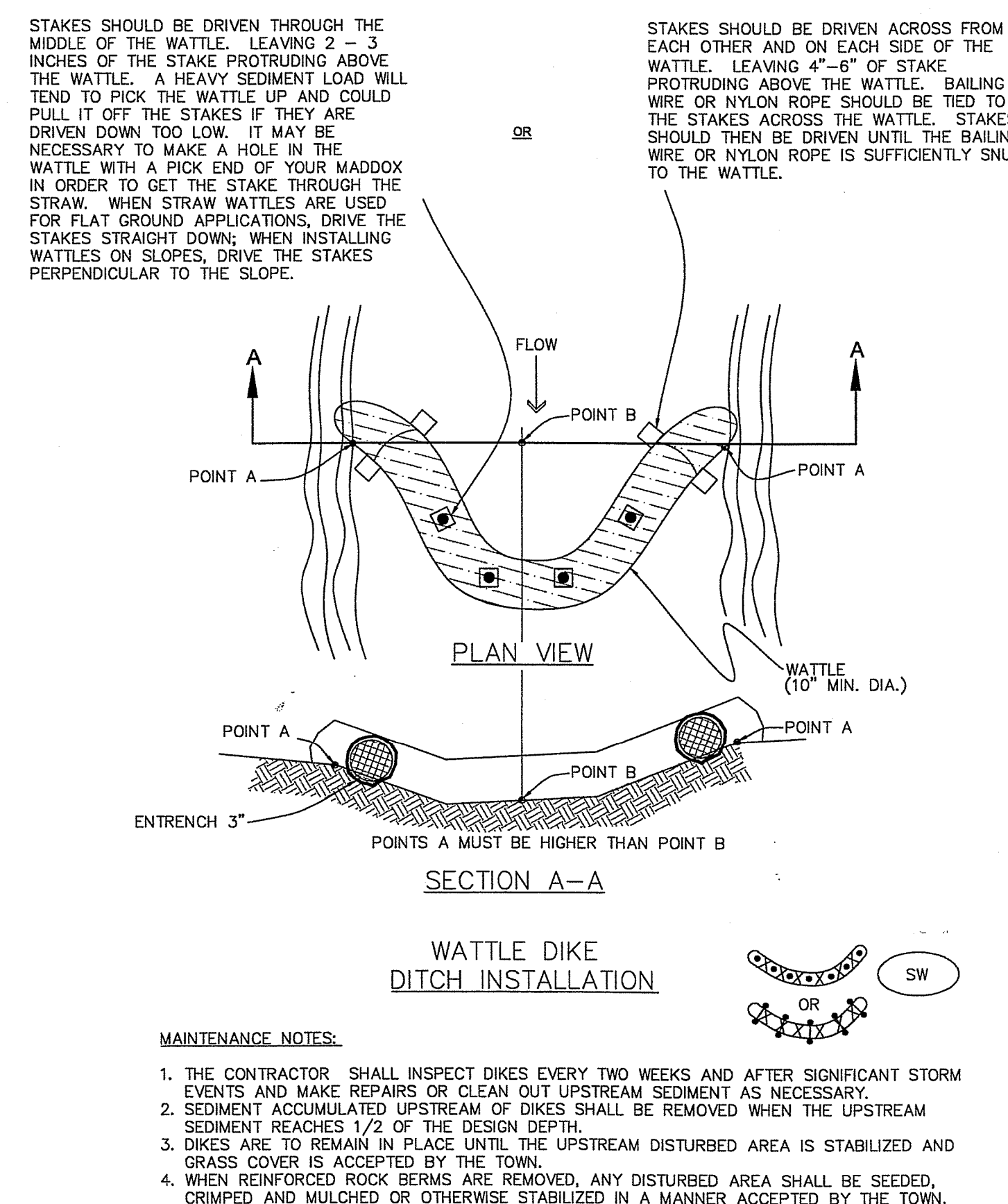
INLET FILTER DETAIL

 <p>FIRESTONE A DIVISION OF THE FIRESTONE TIRE COMPANY</p>	<p>EROSION CONTROL CONSTRUCTION DRAWINGS</p>	SCALE: N.T.S.
		DATE: JUNE 2009




SILT FENCE DETAIL

 FIRESTONE <small>A CORPORATION OF THE UNITED STATES OF AMERICA</small>	EROSION CONTROL CONSTRUCTION DRAWINGS	SCALE: N.T.S.
		DATE: JULY 2008



STRAW WATTLE DIKE DETAIL

 FIRESTONE <small>A GOODMASS COMPANY AND ASSOCIATES</small>	EROSION CONTROL CONSTRUCTION DRAWINGS	
		SCALE: N.T.S.
		DATE: JUNE 2009

Agra Holdings, L.P. Building Expansion	
EROSION CONTROL DETAILS	
Name of Submittal:	AGRA HOLDINGS, L.P. BUILDING EXPANSION
Type of Submittal:	FDP
Filing Number:	—
Phase Number:	—
Preparation Date:	01/11/2012
Revision Date:	02/24/2012
Revision Date:	03/23/2012
Revision Date:	
Revision Date:	
Revision Date:	

[illegible]

LANDSCAPE NOTES:

SOIL PREPARATION:
ALL LANDSCAPE AREAS SHALL BE PREPARED USING 3 YARDS
PULVERIZED MANURE PER 1,000 S.F. MANURE SHALL BE RIPPED
TO A DEPTH OF 6" THEN TILLED AND RAKED. NO SOIL PARTICLE
SHALL EXCEED 3/4" IN SIZE.

EDGING:
ALL LANDSCAPED BEDS SHALL BE EDGED WITH 4" PRO-STEEL EDGER.
EDGING SHALL BE INSTALLED LEAVING A 3" GRADE ON ALL SIDES FACING ANY
BED AREAS AND 1" GRADE AGAINST ALL TURF AREAS.

PLANTING:
ALL TREES AND SHRUBS SHALL BE INSTALLED USING ONLY THE BEST
INSTALLATION PRACTICES. EACH HOLE SHALL BE DUG TO A MINIMUM OF
50% LARGER THAN THE SIZE OF THE ROOTBALL. ALL BACKFILL SHALL BE
AMENDED WITH MOUNTAIN OR SPHAGNUM PEAT MOSS PRIOR TO BACKFILL. ALL
2" AND UP CALIPER DECIDUOUS TREES AND 6" AND UP EVERGREENS SHALL BE
PROPERLY STAKED FOR A PERIOD OF 1 OR 2 YEARS.

WEED FABRIC:
ALL BEDS RECEIVING 2-4" COBBLE SHALL HAVE A WEED FABRIC INSTALLED.
THE WEED FABRIC SHALL BE TYPAR 330I OR EQUAL AND BE INSTALLED TO COVER
THE ENTIRE BED.

SOD AND TURF:
ALL SOD SHALL BE BLUEGRASS TYPE SOD AND FREE FROM WEEDS. THE SOD
SHALL BE CUT AND INSTALLED WITHIN A 24 HOUR PERIOD.

AUTOMATIC SPRINKLER:
ALL LANDSCAPE AREAS SHALL HAVE AUTOMATIC OVERHEAD IRRIGATION FOR ALL
TURF AREAS AND DRIP IRRIGATION FOR ALL PLANTING BED AREAS. THE NEW WATER SOURCE
WILL NEED TO BE A 1" LINE SUPPLIED BY THE MECHANICAL CONTRACTOR RUN OUT NEAR
THE NE CORNER OF THE EXISTING STRUCTURE SO THAT ALL EXISTING ZONES CAN BE TEMPORARILY
SETUP. THE NEW MAINLINE WILL BISECT THIS POINT AND BE INSTALLED ACCORDINGLY TO
SUPPLY IRRIGATION TO THE NEWLY PROPOSED LANDSCAPING.

PLANT LIST:

QTY.	DECIDUOUS TREES			
	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
1	ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	TRANSPLANT EXISTING
1	AFM	AMUR FLAME MAPLE	ACER X GINNALA 'AMUR FLAME'	2" CAL. B&B
1	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2" CAL. B&B
1	CP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL. B&B
5	GL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL. B&B
1	RC	RADIANT CRAB	MALUS X 'RADIANT'	2" CAL. B&B
1	SSC	SPRING SNOW CRAB	MALUS 'SPRING SNOW'	2" CAL. B&B

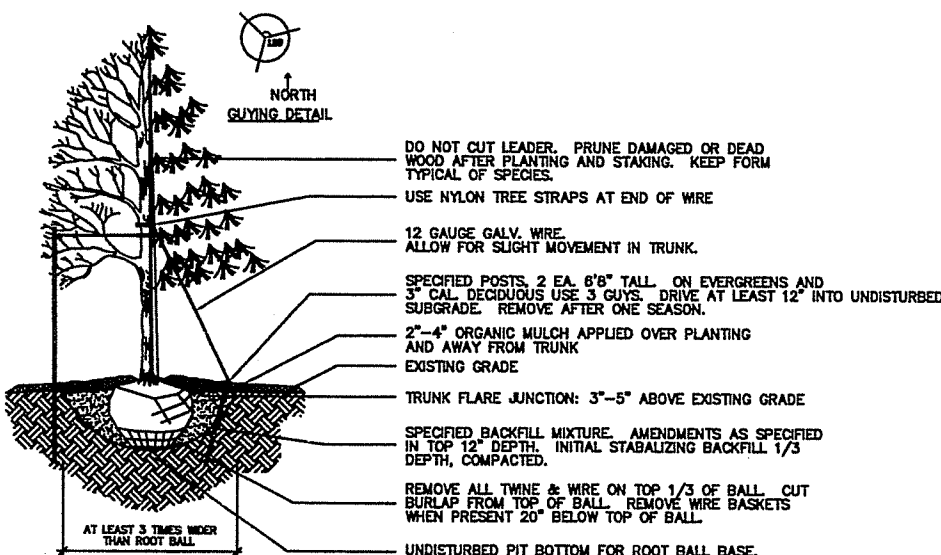
<u>EVERGREEN TREES</u>				
1	AP	AUSTRIAN PINE	PINUS NIGRA	8' HT. B&B

<u>DECIDUOUS SHRUBS</u>				
5	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	#5/5 GAL.
3	DKS	DARK KNIGHT SPIREA	CARYOPTERIS CL. 'DARK KNIGHT'	#5/5 GAL.
6	GFS	GOLDFLAME SPIREA	SPIREA X JAP. 'GOLDFLAME'	#5/5 GAL.
38	JP	JACKMANS POTENTILLA	POTENTILLA FRUTICOSA 'JACKMANII'	#5/5 GAL.
2	MKL	MISS KIM LILAC	SYRINGA PATULA	#5/5 GAL.

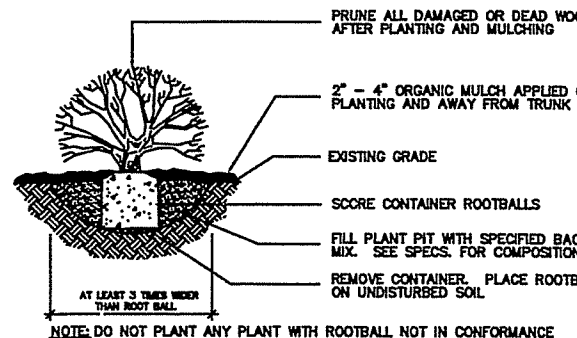
<u>EVERGREEN SHRUBS</u>				
20	BCJ	BLUE CHIP JUNIPER	JUNIPERUS HOR	#5/5 GAL

<u>ORNAMENTAL GRASSES</u>				
16	KFG	KARL FOERSTER GRASS	CALAMAGROSTIS ACUT. 'KARL FOERSTER'	#5/5 GAL.
8	PFG	PURPLE FLAME GRASS	MISCANTHUS SIN.	#5/5 GAL.

<u>PERENNIALS</u>			PURPURASCENS	
3	BES	BLACK-EYED SUSAN	RUDBECKIA FUGIDA 'GOLDSTRUM'	#1/1 GAL.
9	FFC	FIREFLY CORALBELLS	HEUCHERA MIC. 'FIREFLY'	#1/1 GAL.
5	PPC	PALACE PURPLE CORALBELLS	HEUCHERA MIC. 'PALACE PURPLE'	#1/1 GAL.
4	RMC	ROCKY MTN COLUMBINE	AQUILEGIA CAERULEA	#1/1 GAL.
9	SDL	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	#1/1 GAL.
3	VH	VARIEGATED HOSTA	HOSTA ALBO-MARGINATA	#1/1 GAL.



1 TREE PLANTING DETAIL



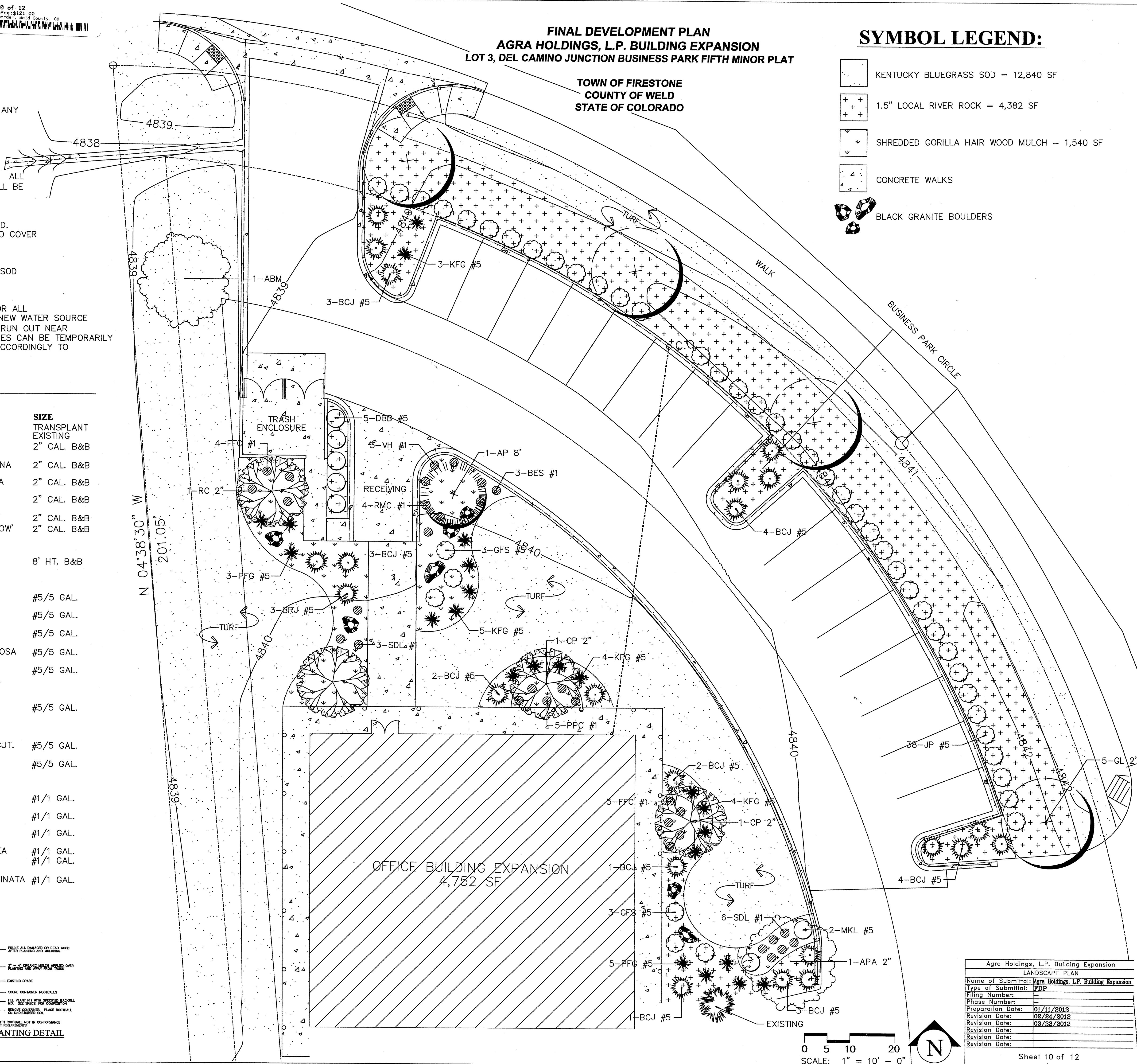
2 SHRUB PLANTING DETAIL

FINAL DEVELOPMENT PLAN
AGRA HOLDINGS, L.P. BUILDING EXPANSION
LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT

TOWN OF FIRESTONE
COUNTY OF WELD
STATE OF COLORADO

SYMBOL LEGEND:

- KENTUCKY BLUEGRASS SOD = 12,840 SF
- 1.5" LOCAL RIVER ROCK = 4,382 SF
- SHREDDED GORILLA HAIR WOOD MULCH = 1,540 SF
- CONCRETE WALKS
- BLACK GRANITE BOULDERS



LANDSCAPE DESIGN
&
CONSTRUCTION

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LANDSCAPE

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LANDSCAPE, INC.

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AGRA HOLDINGS, L.P. BUILDING EXPANSION

LOT 3, BLOCK 2, DEL CAMINO JUNCTION

FIRESTONE, WELD COUNTY, COLORADO

DESIGNED BY:
CRAIG S. SMITH

DATE:
01/11/2012

REVISIONS:

02/23/12 CSS

03/01/12 CSS

03/23/12 CSS

SCALE:
1" = 10' - 0"

SHEET TITLE:
LANDSCAPE
PLAN

SHEET NUMBER:

Agra Holdings, L.P. Building Expansion

LANDSCAPE PLAN

Name of Submittal: Agra Holdings, L.P. Building Expansion

Type of Submittal: FDP

Filing Number: -

Phase Number: -

Preparation Date: 01/11/2012

Revision Date: 02/24/2012

Revision Date: 03/23/2012

Revision Date: -

Revision Date: -

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SCALE: 1" = 10' - 0"

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Sheet 10 of 12

